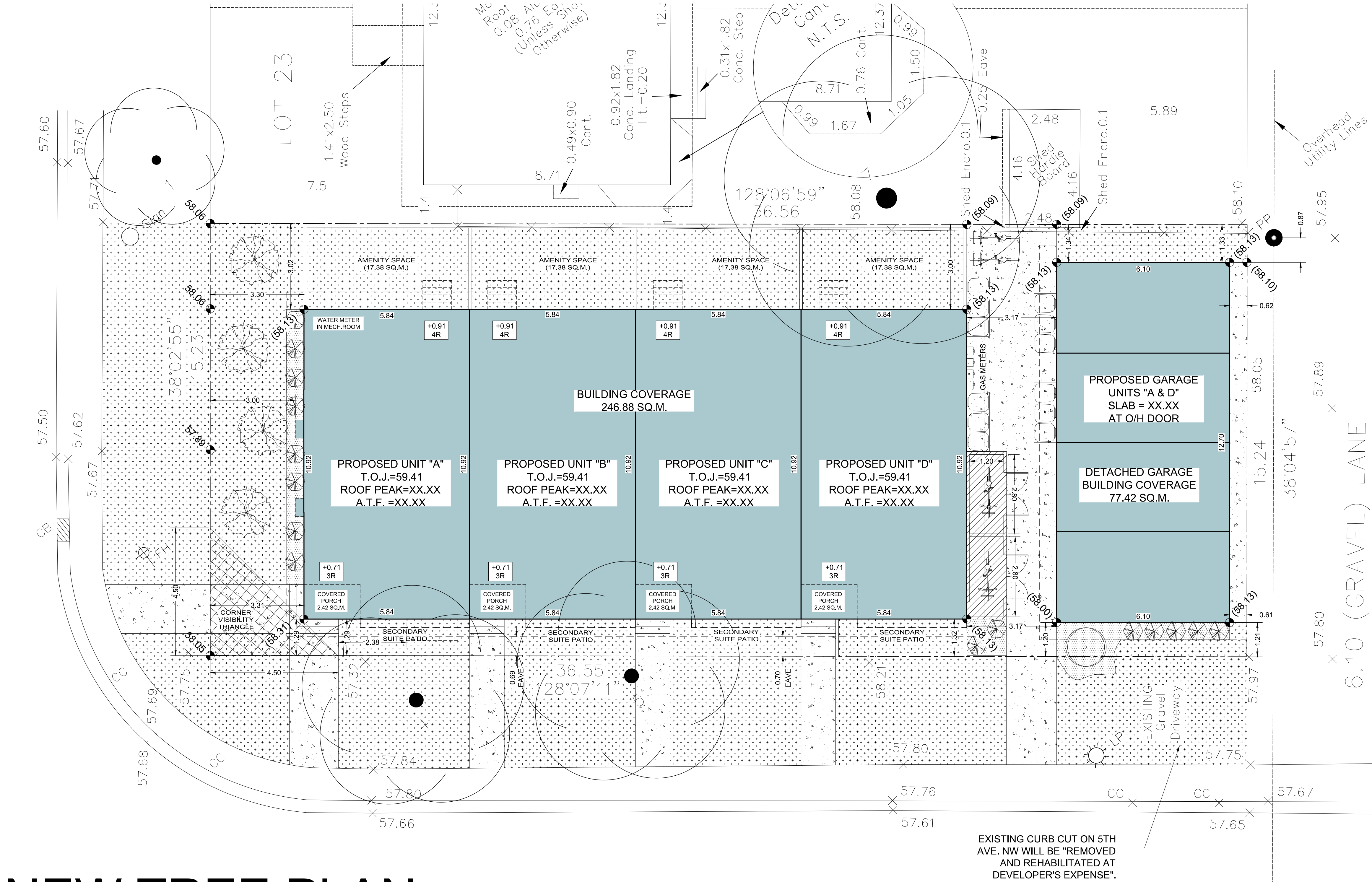


33RD STREET N.W.



NEW TREE PLAN

ANY TREE PLANTING IN THE CITY BOULEVARD SHALL BE PERFORMED AND INSPECTED IN ACCORDANCE WITH PARKS' DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS - LANDSCAPE CONSTRUCTION (CURRENT EDITION). APPLICANT IS TO CONTACT THE PARKS DEVELOPMENT INSPECTOR AT 403-804-9417 OR 311 TO ARRANGE AN INSPECTION.

5TH AVENUE N.W.

ALL SOFT LANDSCAPED AREAS TO HAVE UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED

TREE TABLE

LANDSCAPING:

- 0.60H OR WIDE GLOBE CARAGANA SHRUB (MIN. 15)
- 0.075M MIN. CALIPER COLUMNAR ASPEN (MIN. 4)
- 0.075M MIN. CALIPER TOBA/SNOWBIRD HAWTHORN (MIN. 1)
- MULCH
- SOD

403-618-2091 | CESAR@AMAYADESIGN.CA
404 WINDERMERE DRIVE, CHESTERMERE, AB, CANADA
T1X 0G2
WWW.AMAYADESIGN.CA

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Do not scale drawings.
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All framing, electrical rough-in and plumbing rough-in needs to be confirmed by trades/contractor and home owner. Any issue needs to be notified to the designer to be resolved before proceeding

REVISION SCHEDULE	
REVISION DATE	REVISION DESCRIPTION

ISSUE DATE
May 26, 2023

CLIENT:
XXX

CLIENT CODE: XXXX

PROJECT LOCATION:
704 - 33 STREET NW
CALGARY, AB

LOT:	BLOCK:	PLAN:
21 & 22	53	8321 AF

FLOOR AREAS:
MAIN FLOOR = XXXX SQ.FT.
UPPER FLOOR = XXXX SQ.FT.
TOTAL = XXXX SQ.FT.
LOWER DEV. = XXXX SQ.FT.
SECONDARY SUITE = XXX SQ.FT.

DESIGN BY:	DRAWN BY:
CA	CR

SCALE
1:100

PAGE
S-3

PROJECT NUMBER
M439

33RD STREET N.W.

P/L

LOT 21
BLOCK 53



POWER POLE

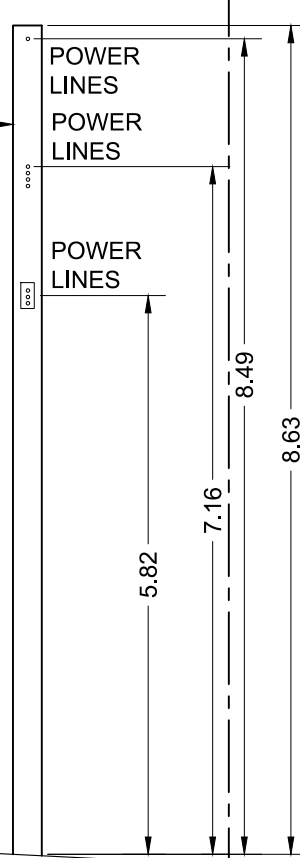
P/L

CL

6.10
LANE

3.05

P/L

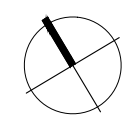
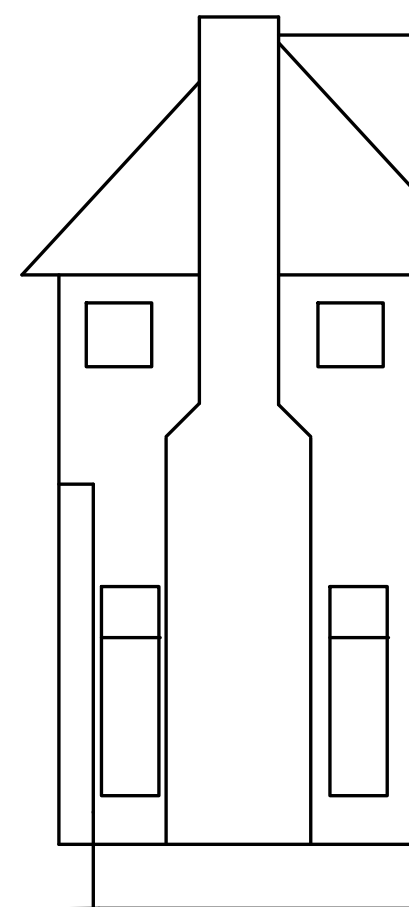


Roof Peak=61.87

Garage

6.10
GRAVEL LANE

LOT 20



STREETSCAPE PLAN
5TH AVENUE N.W.

P/L

LOT 26

P/L

LOT 25

P/L

LOT 24

LOT 23

P/L

LOT 22

LOT 21

P/L

BLOCK 53

LOT 27



Roof Peak=66.43

Main Floor=58.45

#712

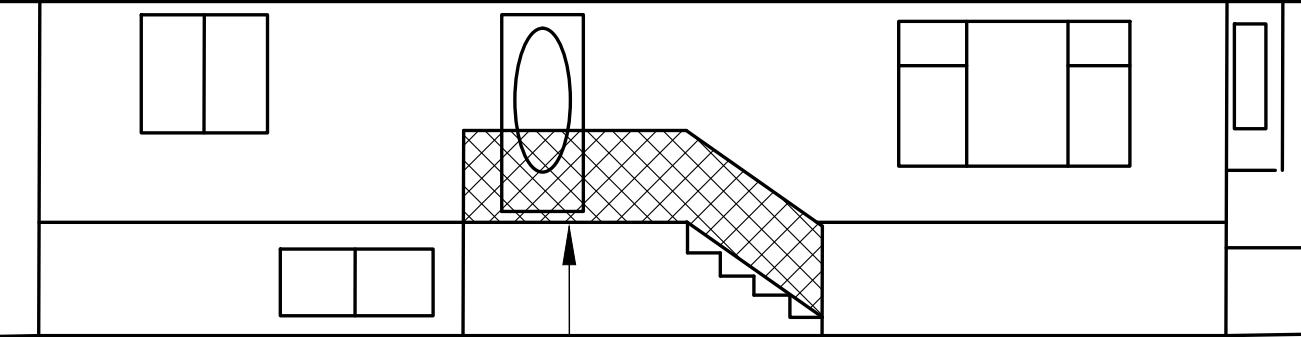
Semi-Detached

#710

Roof Peak=63.53

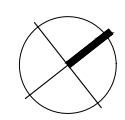
Main Floor=59.27

Dwelling #708



WEST

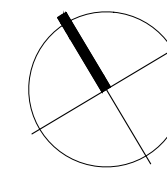
5TH AVENUE N.W.



STREETSCAPE PLAN
33RD STREET N.W.

Amaya Design
AND ASSOCIATES

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REVISION SCHEDULE

REVISION DATE	REVISION DESCRIPTION

ISSUE DATE

July 6, 2023

CLIENT:

XXX

CLIENT CODE: XXXX

PROJECT LOCATION:

704 - 33 STREET NW
CALGARY, AB

LOT: 21 & 22	BLOCK: 53	PLAN: 8321 AF
-----------------	--------------	------------------

FLOOR AREAS:

MAIN FLOOR = XXXX SQ.FT.
UPPER FLOOR = XXXX SQ.FT.
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SECONDARY SUITE = XXX SQ.FT.

DESIGN BY: CA	DRAWN BY: CR
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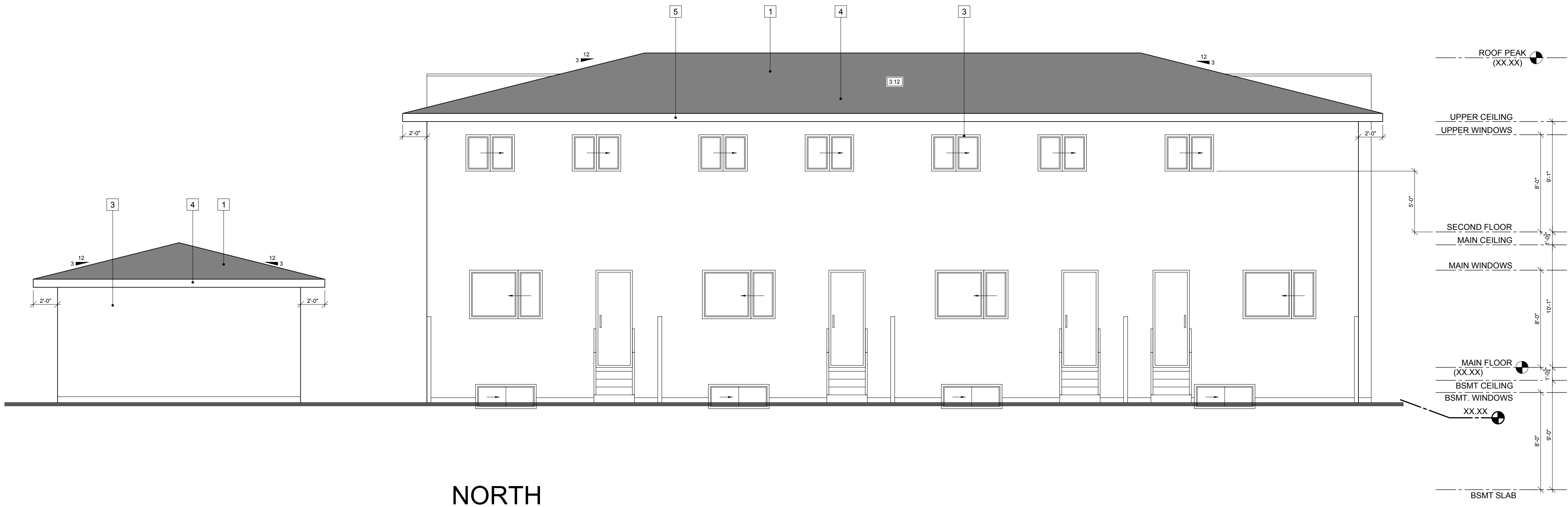
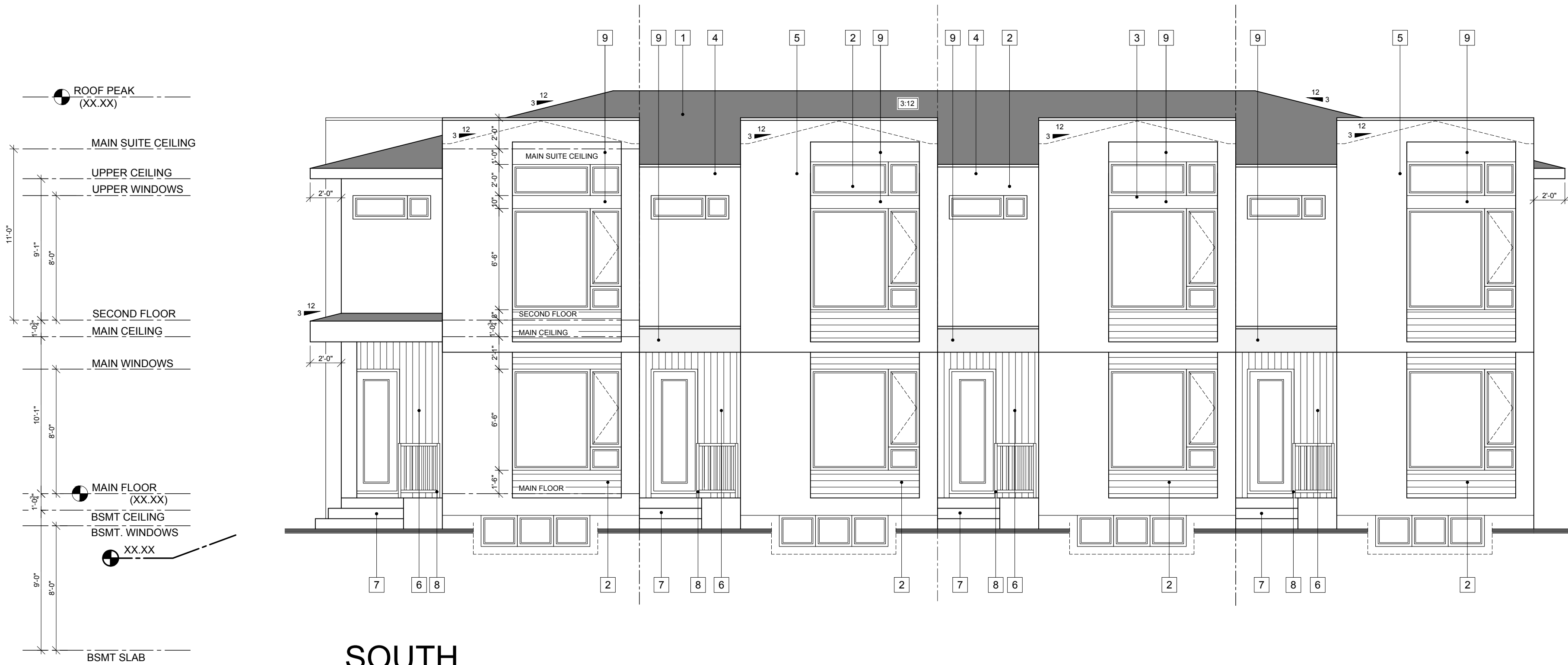
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PAGE

S-4

PROJECT NUMBER

M439



GLAZING CALCULATION
X.XX SQ.M. TOTAL GLASS / XXX.XX SQ.M. TOTAL WALL = X.X% @ X.XX M TO P.LINE

LEGEND

1. ARCHITECTURAL ASPHALT SHINGLES

2. BLACK HARDIE SIDING

3. BLACK ALUMINUM WINDOWS

4. 8" ALUMINUM FASCIA

5. WHITE STUCCO SIDING

6. BLACK VERTICAL HARDIE SIDING

7. CONCRETE STEPS

8. ALUMINUM RAILING

9. BLACK SMARTBOARD PANEL

Amaya Design
AND ASSOCIATES

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4. IT IS THE CONTRACTORS RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK

5. ANY PATCHING, REPAIR, REFINISHING, RECONSTRUCTION & REPAINTING WORK REQUIRED AS A RESULT OF PERFORMANCE OF WORK OF THE CONTRACT SHALL INCORPORATE AND BE PERFORMED WITH MATERIALS TO MATCH SAME AND SHALL REQUIRE FIRE RATINGS

6. WHERE "TYPE X" GYPSUM WALL BOARD IS NOTED ON DRAWINGS, PROVIDE FIRE-RATED GYPSUM WALL BOARD WITH U.L.C. LABEL

7. PRE-DRILLED INSERTS ARE TO BE USED WHEN ATTACHING OR FASTENING MATERIALS OR FITMENTS TO MASONRY OR CONCRETE WALLS, FLOORS, SLABS OR CEILING ASSEMBLIES

8. REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR REINFORCING AND CORE FILLING OF MASONRY WALLS AT WALL OPENINGS, CORNERS & TERMINATIONS UNLESS NOTED OTHERWISE

9. PROVIDE SOLID BLOCKING (2"x4") IN STUD PARTITIONS BEHIND ALL RECESSED OR FLUSH MOUNTED EQUIPMENT & ACCESSORIES AT ALL ANCHOR POINTS

10. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE HIS OWN FORCES & HIS SUB TRADES TO ENSURE THAT HOLES CUT FOR PENETRATIONS, THROUGH THE EXTERIOR WALL, SYSTEMS ARE NOT OVERSIZED. AFTER INSTALLATION OF ANY PENETRATIONS, THE VOIDS BETWEEN THE PENETRATION OPENING AND THE PENETRATION MATERIALS SHALL BE COMPLETELY SEALED TO ENSURE THE INTEGRITY OF THE AIR/VAPOR BARRIER

11. WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL INSTALLATIONS PENETRATE WALL AND/OR FLOOR ASSEMBLIES SEAL ANY SUCH PENETRATIONS WITH FIRE RATED ACOUSTIC SEALANT & MAINTAIN REQUIRED FIRE RATING & ACOUSTIC MINIMUM

12. THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S LETTER NOTES AND SHOP DRAWINGS AS WELL AS MECHANICAL & ELECTRICAL DRAWINGS & ROOF TRUSS/JOIST SUPPLIER/ MANUFACTURER'S DRAWINGS

13. ENSURE THAT ALL PRE-FINISHED METAL CAPPING TO THE WOOD FASCIA, DICK RING AND BAND BOARDS ARE COMPLETE WITH POSITIVE DRAINAGE

14. ANY LARGE MECHANICAL GRILLE OPENINGS ON THE ELEVATIONS SHALL BE PREPARED & FINISHED IN THE SAME MANNER AS THE WINDOW ASSEMBLIES

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REVISION SCHEDULE	
REVISION DATE	REVISION DESCRIPTION

ISSUE DATE
May 26, 2023

CLIENT:
NAME
CLIENT CODE: XXXX

PROJECT LOCATION:		
704 - 33 STREET NW CALGARY, AB		
LOT: 21 & 22	BLOCK: 53	PLAN: 8321 AF

FLOOR AREAS:		
MAIN FLOOR = 2643 SQ.FT. UPPER FLOOR = 2800 SQ.FT. TOTAL = 5443 SQ.FT. LOWER DEV.= 448 SQ.FT.		

DESIGN BY:	DRAWN BY:
CA	CR

SCALE
3/16"=1'- 0"

PAGE
A.1

PROJECT NUMBER
M439

- LEGEND
1.

ARCHITECTURAL ASPHALT SHINGLES
2.

BLACK HARDIE SIDING
3.

BLACK ALUMINUM WINDOWS
4.

8" ALUMINUM FASCIA
5.

WHITE STUCCO SIDING
6.

BLACK VERTICAL HARDIE SIDING
7.

CONCRETE STEPS
8.

ALUMINUM RAILING
9.

BLACK SMARTBOARD PANEL



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14. ANY LARGE MECHANICAL GABLE OPENINGS ON THE ELEVATIONS SHALL BE PREPARED & FINISHED IN THE SAME MANNER AS THE WINDOW ASSEMBLIES
15. ALL GEODETIC ELEVATIONS PROVIDED TO AMAYA DESIGN INC. ARE ASSUMED TO BE ACCURATE AND REFLECT ACTUAL SITE CONDITIONS. AMAYA DESIGN INC. IS NOT RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN SITE CONDITIONS AND THE PROVIDED TOPOGRAPHIC SURVEY.

REVISION SCHEDULE

REVISION DATE	REVISION DESCRIPTION
---------------	----------------------

ISSUE DATE

May 26, 2023

CLIENT:

NAME

CLIENT CODE: XXXX

PROJECT LOCATION:

704 - 33 STREET NW

CALGARY, AB

LOT:	BLOCK:	PLAN:
21 & 22	53	8321 AF

FLOOR AREAS:

MAIN FLOOR = 2643 SQ.FT.

UPPER FLOOR = 2800 SQ.FT.

TOTAL = 5443 SQ.FT.

LOWER DEV.= 448 SQ.FT.

DESIGN BY:

CA

DRAWN BY:

CR

SCALE

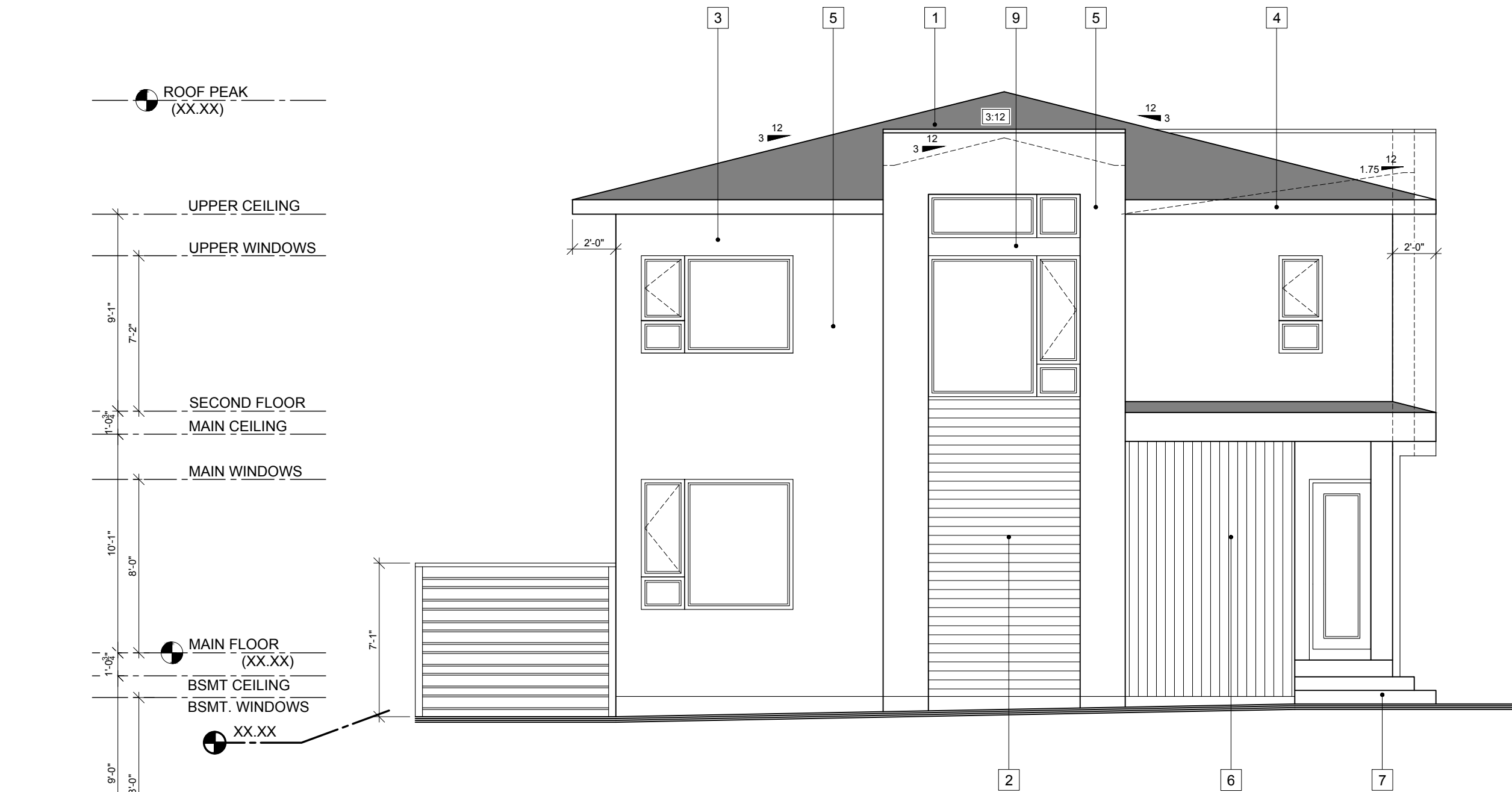
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PAGE

A.2

PROJECT NUMBER

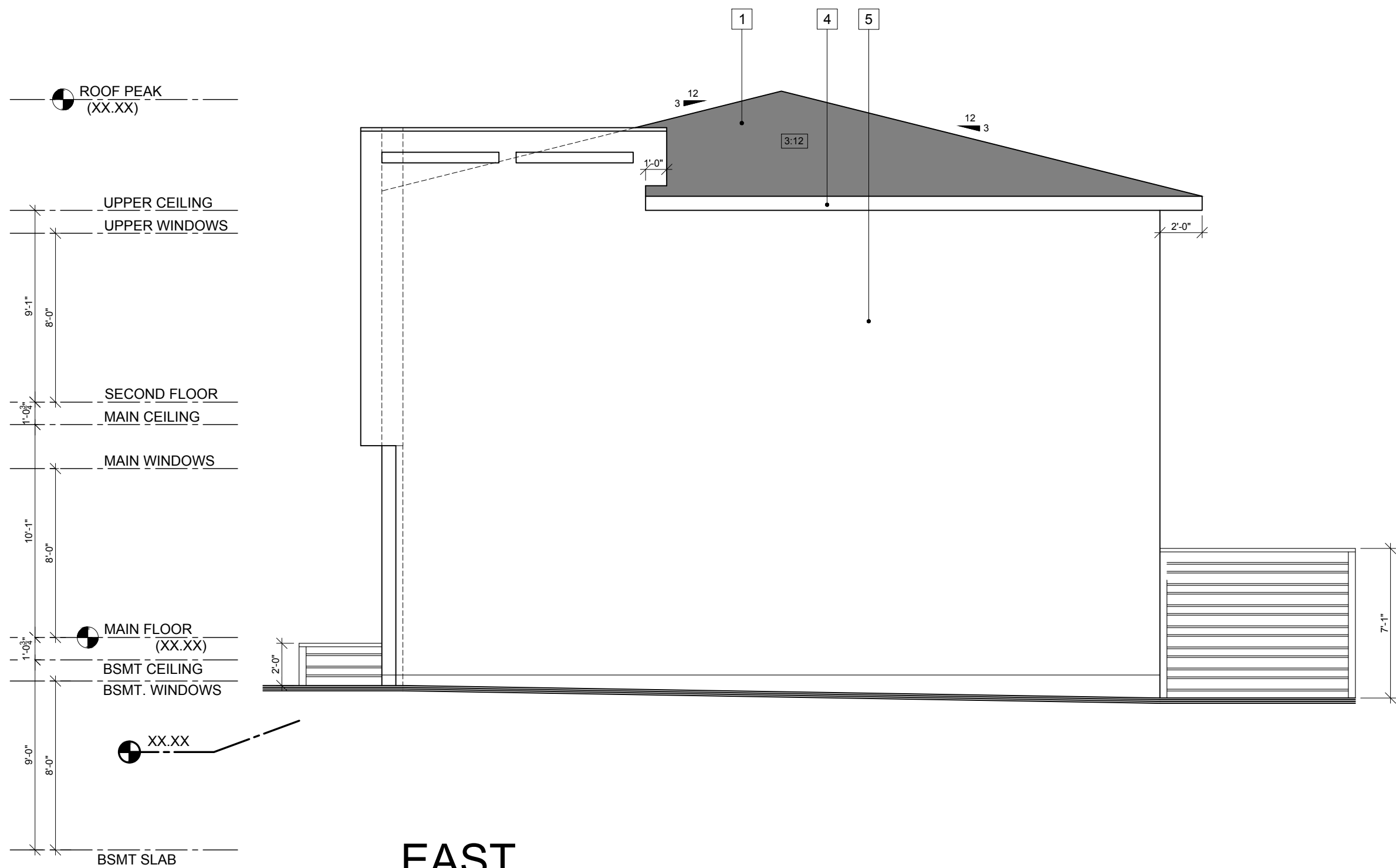
M439



WEST

GLAZING CALCULATION

X.XX SQ.M. TOTAL GLASS / XXX.XX SQ.M. TOTAL WALL = X.X% @ X.XX M TO P.LINE



EAST

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REVISION SCHEDULE

REVISION DATE	REVISION DESCRIPTION
---------------	----------------------

ISSUE DATE

May 26, 2023

CLIENT:
NAME

CLIENT CODE: XXXX

PROJECT LOCATION:

704 - 33 STREET NW
CALGARY, AB

LOT: 21 & 22	BLOCK: 53	PLAN: 8321 AF
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FLOOR AREAS:

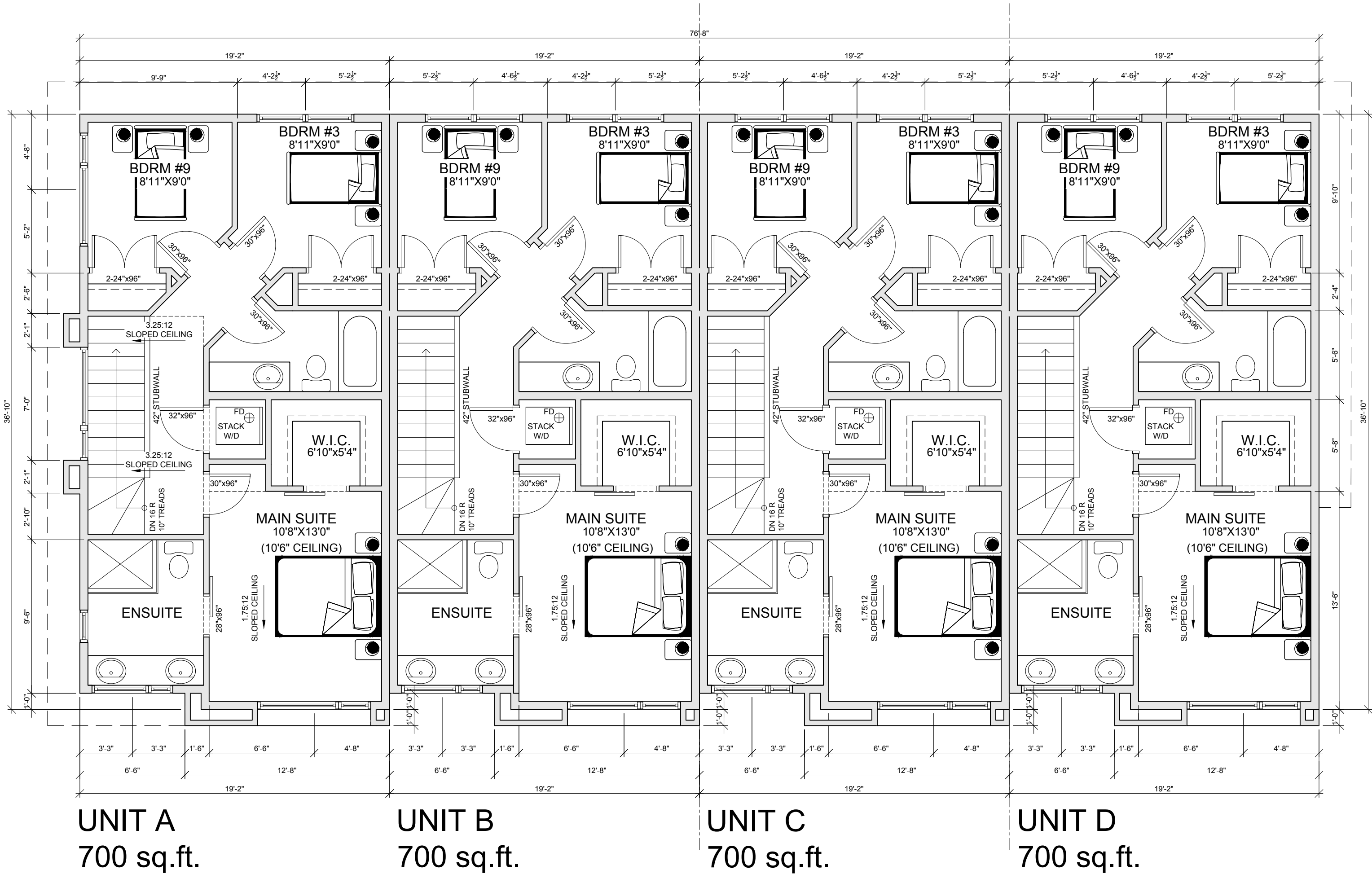
MAIN FLOOR = 2643 SQ.FT.
UPPER FLOOR = 2800 SQ.FT.
TOTAL = 5443 SQ.FT.
LOWER DEV.= 448 SQ.FT.

DESIGN BY: CA	DRAWN BY: CR
------------------	-----------------

SCALE
3/16"=1'- 0"

PAGE
A.4

PROJECT NUMBER
M439



UNIT A
700 sq.ft.

UNIT B
700 sq.ft.

UNIT C
700 sq.ft.

UNIT D
700 sq.ft.

UPPER FLOOR

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REVISION SCHEDULE	
REVISION DATE	REVISION DESCRIPTION

ISSUE DATE
May 26, 2023

CLIENT:
NAME

CLIENT CODE:
XXXX

PROJECT LOCATION:
704 - 33 STREET NW CALGARY, AB

LOT:	BLOCK:	PLAN:
21 & 22	53	8321 AF

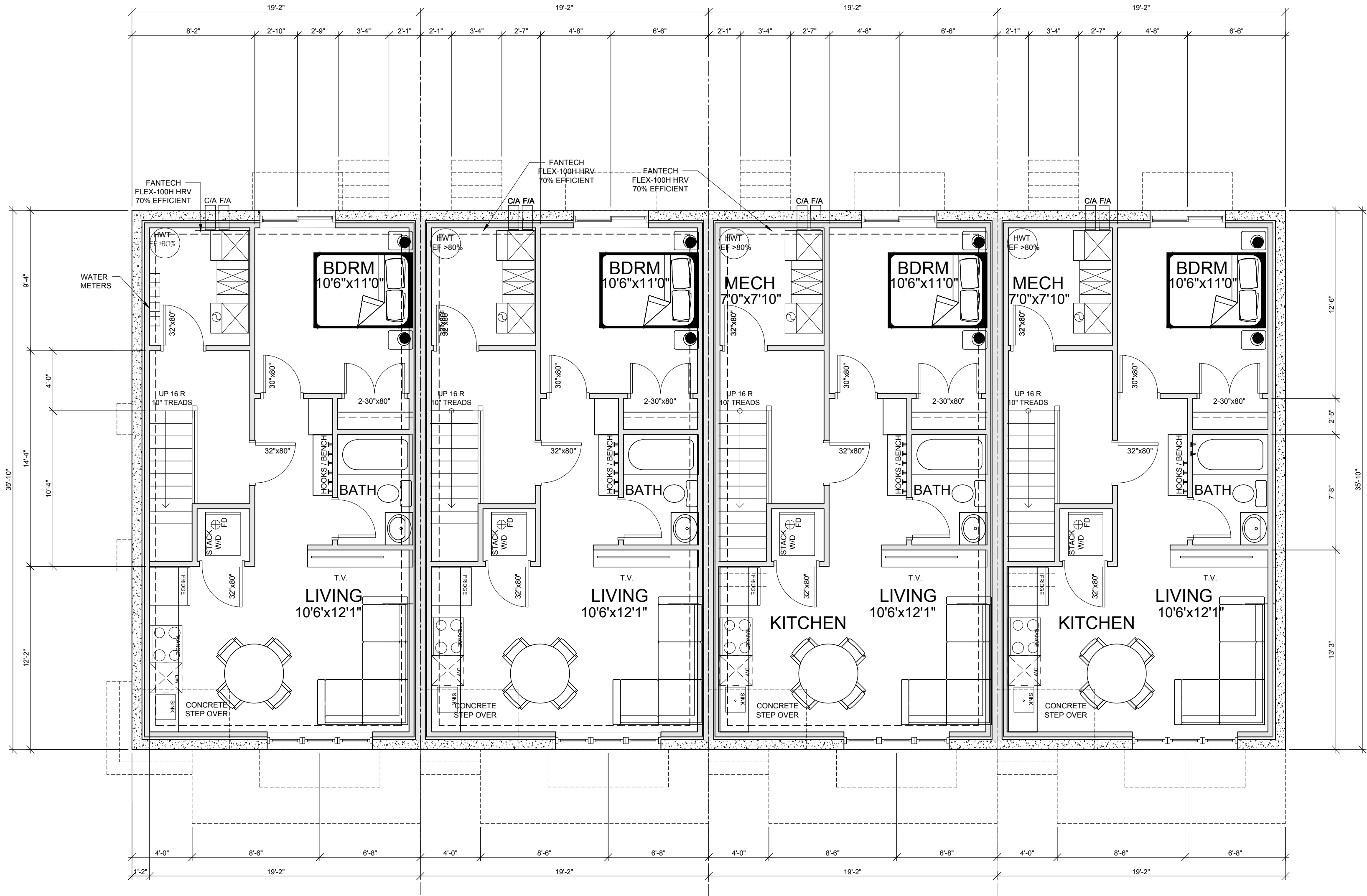
FLOOR AREAS:
MAIN FLOOR = 2643 SQ.FT. UPPER FLOOR = 2800 SQ.FT. TOTAL = 5443 SQ.FT. LOWER DEV.= 448 SQ.FT.

DESIGN BY:	DRAWN BY:
CA	CR

SCALE
3/16"=1'- 0"

PAGE
A.5

PROJECT NUMBER
M439



UNIT A
448 sq.ft.

UNIT B
448 sq.ft.

UNIT C
448 sq.ft.

UNIT D
448 sq.ft.

BASEMENT - SECONDARY SUITES